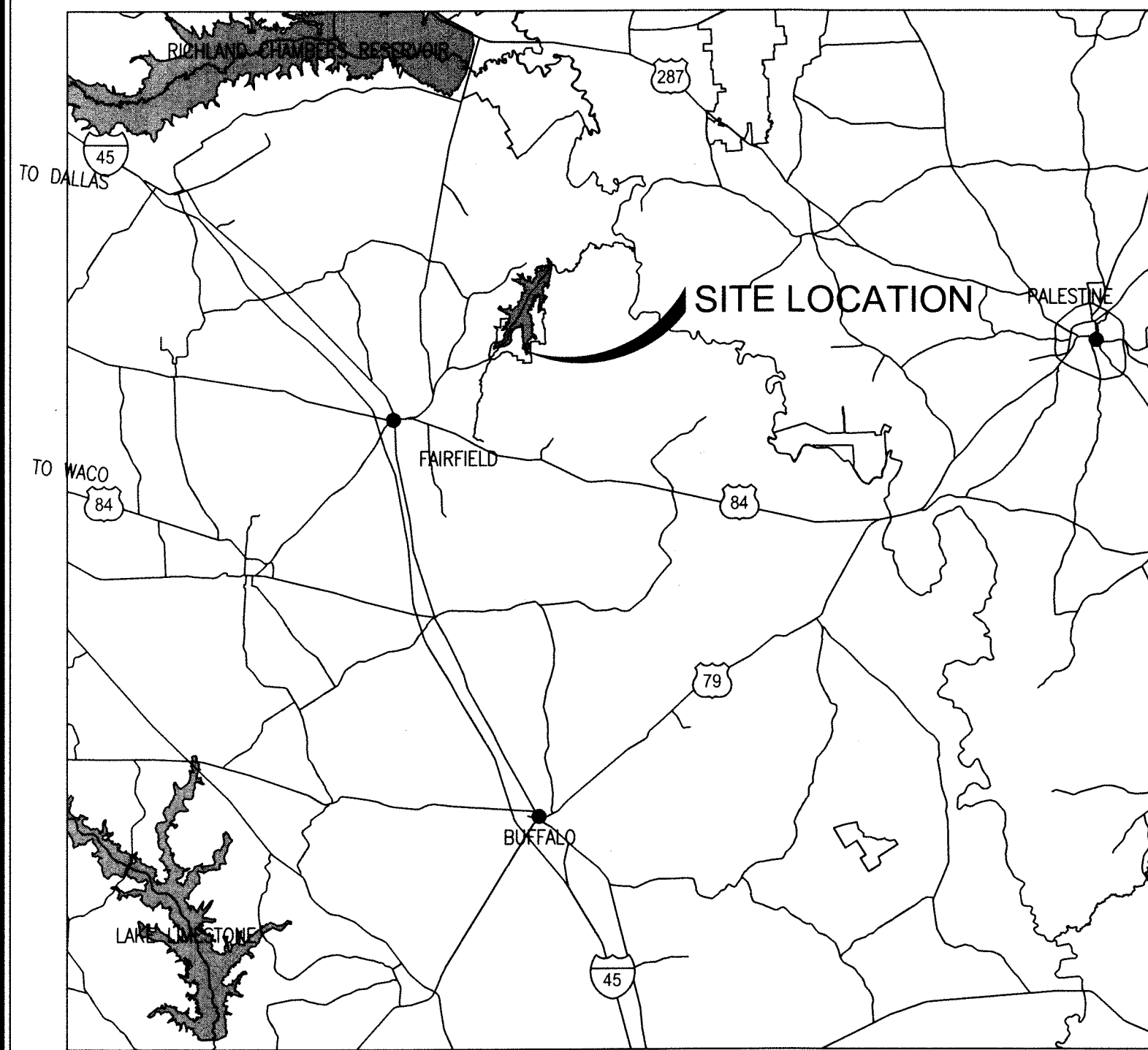
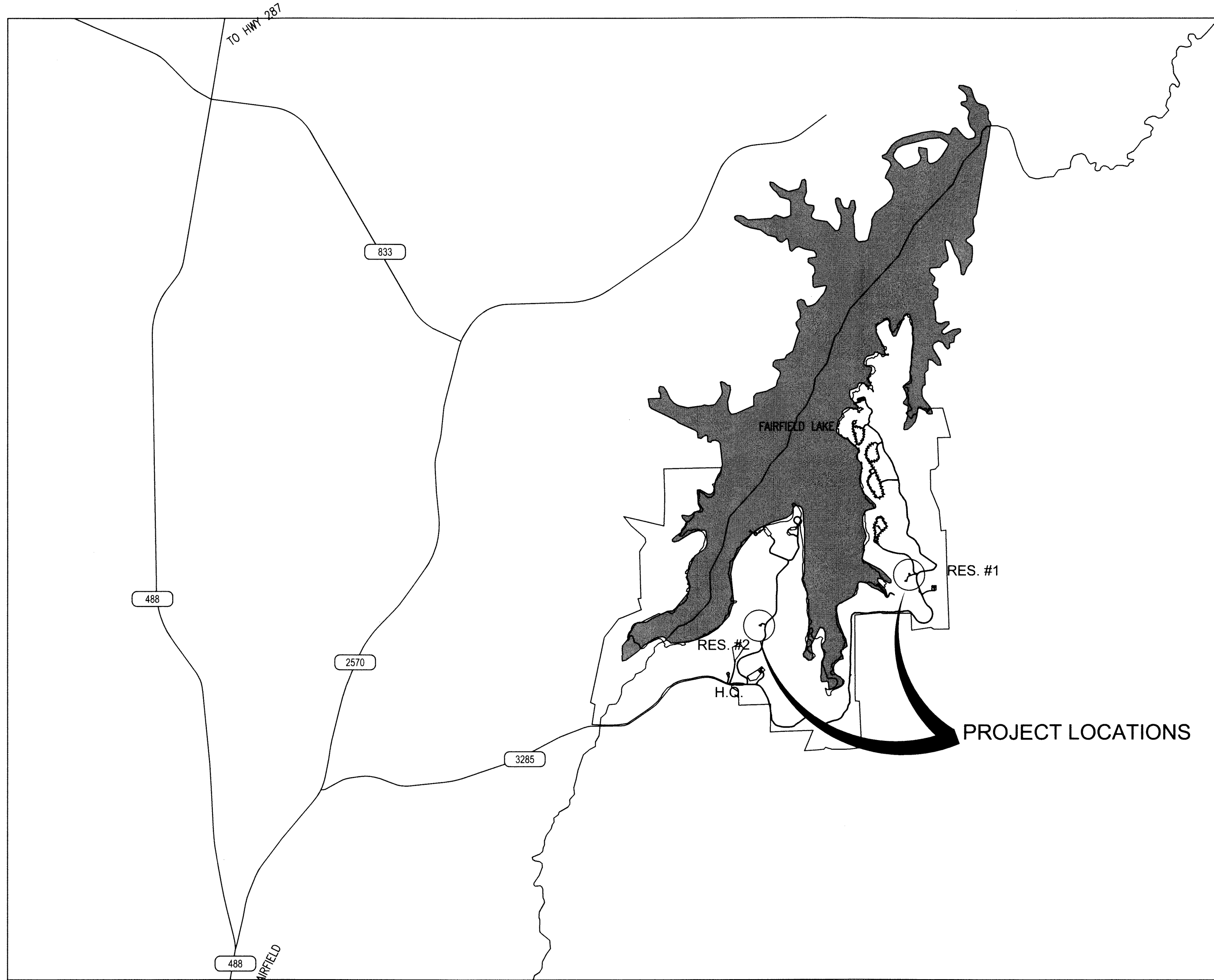


COUNTY LOCATION MAP
NOT TO SCALE



VICINITY MAP
NOT TO SCALE



SITE LOCATION MAP
NOT TO SCALE

DESIGN TEAM

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PROJECT FAIRFIELD LAKE STATE PARK

Replace Roofing on Park Residences 1 & 2

PROJECT NUMBERS: EH 8297 & EH 8298

DATE: 16 May 2016

INDEX OF DRAWINGS

SHEET NO.	DESCRIPTION
----	COVER SHEET
G1	GENERAL NOTES, SYMBOLS AND ABBREVIATIONS
A1	ROOF PLAN, PHOTOS, AND DETAIL

BUILDING CODE SUMMARY

A. INTERNATIONAL CODE COUNCIL ADOPTIONS*	
I. BUILDING CODE	INTERNATIONAL BUILDING CODE 2012
II. STRUCTURAL CODE	INTERNATIONAL STRUCTURAL CODE 2012
III. PLUMBING BUILDINGS	INTERNATIONAL PLUMBING CODE 2012
IV. MECHANICAL CODE	INTERNATIONAL MECHANICAL CODE 2012
V. ENERGY CODE	INTERNATIONAL ENERGY CODE 2012
VI. GAS CODE	INTERNATIONAL FUEL GAS CODE 2012
VII. RESIDENTIAL CODE	INTERNATIONAL RESIDENTIAL CODE 2012
VIII. EXISTING BUILDINGS	INTERNATIONAL EXISTING BUILDINGS CODE 2012

*NOTE: THE INTERNATIONAL FIRE CODE SPECIFICALLY EXCLUDED FROM THIS LIST/NOT APPLICABLE TO TPWD SITES AND FACILITIES, HOWEVER FIRE PROTECTION SHOULD BE FOLLOWED AS STATED IN ALL OTHER CODES LISTED.

B. NATIONAL FIRE PROTECTION ASSOCIATION	
I. ELECTRICAL CODE	NATIONAL ELECTRICAL CODE 2014
C. STATE ENERGY CONSERVATION OFFICE/TEXAS COMPTROLLERS OFFICE	
I. ENERGY CODES FOR STATE BUILDINGS	TITLE 34, PART 1, CH. 19, SB.C, RULE 19.31
1. CERTIFICATION FOR RESIDENTIAL AND NONRESIDENTIAL BUILDINGS REQUIRED BY ARCHITECT/ENGINEER-SEE ATTACHED	
D. ACCESSIBILITY CODES	
I. US DEPT. OF JUSTICE, 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN	
II. US DEPT. OF JUSTICE, ARCHITECTURAL BARRIERS ACT, ACCESSIBILITY GUIDELINES FOR OUTDOOR DEVELOPED AREAS ON FEDERAL LANDS-EFFECTIVE NOVEMBER 25, 2013.	
III. 2012 TEXAS ACCESSIBILITY STANDARDS, ELIMINATION OF ARCHITECTURAL BARRIERS, TEXAS GOVERNMENT CODE, CHAPTER 469.	
E. PLAYGROUND SAFETY CODE	
I. PUBLIC PLAYGROUND SAFETY HANDBOOK, U.S. CONSUMER PRODUCT SAFETY COMMISSION.	

SCOPE OF WORK

- REFER TO TECHNICAL SPECIFICATIONS (SHEET G1)
- REMOVE EXISTING ROOFING DOWN TO THE WOOD ROOF DECK.
- REPLACE OR REPAIR ALL FOUND DAMAGED OR DETERIORATED ROOF WOOD SUB-FRAMING OR DECKING
- INSTALL UNDERLAYMENT.
- INSTALL METAL ROOF PANELS, TRIM, FLASHING, AND OTHER COMPONENTS.
- PROVIDE AND INSTALL GUTTER AND DOWNSPOUTS ON ON ALL SIDES AS SHOWN ON DRAWINGS.
- REMOVE ALL CONSTRUCTION-GENERATED WASTE.

TEXAS
PARKS &
WILDLIFE

TEXAS PARKS AND WILDLIFE

INFRASTRUCTURE DIVISION

4200 SMITH SCHOOL ROAD · AUSTIN, TEXAS 78744-3292

APPROVED

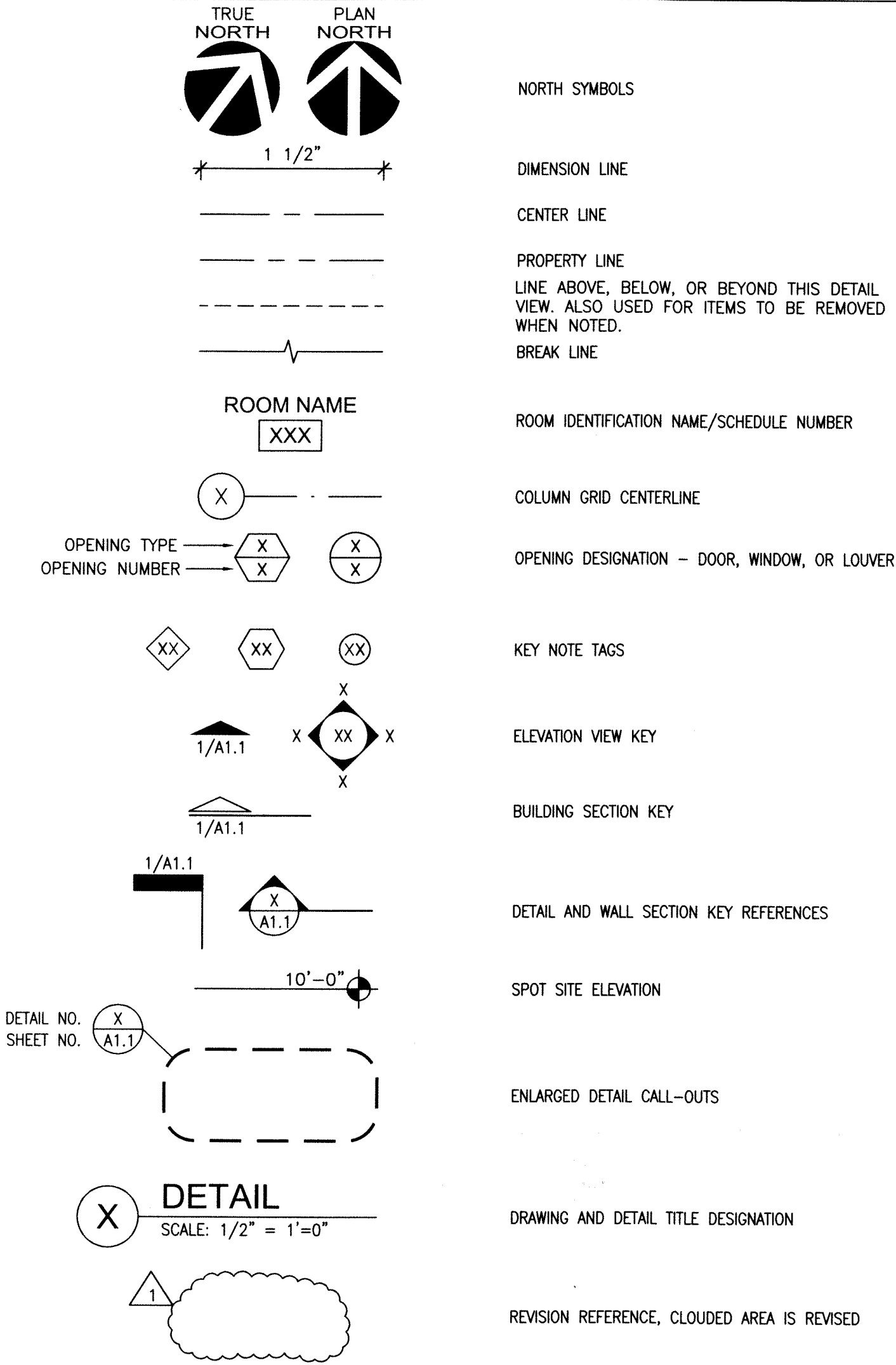
Tony Bettis 5/17/2016
PROJECT MANAGER, INFRASTRUCTURE DIVISION DATE
Janie Ramirez 5/16/16
DESIGN BRANCH HEAD, INFRASTRUCTURE DIVISION DATE

100% CONSTRUCTION DRAWINGS

PROJECT NUMBER: EH 8297 & EH 8298
DRAWING NUMBER: EH8298-Cover.dwg

SET NO.

ARCHITECTURAL SYMBOLS



ABBREVIATIONS

A.B.	ANCHOR BOLT	HTR.	HEATER
A.F.F.	ABOVE FINISHED FLOOR	INSUL.	INSULATION
ALUM.	ALUMINUM	LBS.	POUNDS
BD.	BOARD	LT.	LIGHT
BLKG.	BLOCKING	MAX.	MAXIMUM
BM.	BEAM	MECH.	MECHANICAL
BOT.	BOTTOM	MIN.	MINIMUM
C.J.	CONTROL JOINT	MTL.	METAL
CL.	CENTER LINE	N.I.C.	NOT IN CONTRACT
CLG.	CEILING	O.C.	ON CENTER
C.T.	CERAMIC TILE	O.H.	OVER HEAD
C.M.U.	CONCRETE MASONRY UNIT	OPP.	OPPOSITE
COL.	COLUMN	O.S.F.	OUTSIDE FACE
CONC.	CONCRETE	PT. HT.	PLATE HEIGHT
CONT.	CONTINUOUS	PLUMB.	PLUMBING
C.Y.	CUBIC YARD	P.T.	PRESSURE TREATED
DBL.	DOUBLE	P.V.C.	POLYVINYL CHLORIDE
D.F.	DRINKING FOUNTAIN	R.C.P.	REFLECTED CEILING PLAN
DIA., Ø	DIAMETER	REBAR	REINFORCEMENT BAR
DIM.	DIMENSION	REF.	REFERENCE
DTL.	DETAIL	REINF.	REINFORCEMENT
EA.	EACH	REQ'D.	REQUIRED
E.J.	EXPANSION JOINT	S.C.J.	SAW CUT JOINT
ELEC.	ELECTRICAL	SIM.	SIMILAR
ELEV.	ELEVATION	SPEC.	SPECIFICATIONS
EQ.	EQUAL	SQ.	SQUARE
EXIST.	EXISTING	S.S.	STAINLESS STEEL
F.D.	FLOOR DRAIN	STL.	STEEL
F.F.	FINISH FLOOR	TEMP.	TEMPORARY
FIN.	FINISH	T.O.C.	TOP OF CONCRETE
FLUOR.	FLUORESCENT	T.O.S.	TOP OF STEEL
FT.	FOOT OR FEET	T.O.W.	TOP OF WALL
GA.	GAUGE	TYP.	TYPICAL
GALV.	GALVANIZED	U.N.O.	UNLESS NOTED OTHERWISE
G.F.I.	GROUND FAULT INTERRUPTER	V.I.F.	VERIFY IN FIELD
GYP.	GYPSPUM	VEND.	VENDING
H.B.	HOSE BIBB	VERT.	VERTICAL
H.C.	HANDICAPPED	V.T.R.	VENT THRU ROOF
H.M.	HOLLOW METAL	WITH	WITH
HORIZ.	HORIZONTAL	WD.	WOOD
HT.	HEIGHT	W.H.	WATER HEATER
		W.W.F.	WELDED WIRE FABRIC
		YD.	YARD

SPECIFICATIONS

A. SCOPE:

- CONTRACTOR SHALL FURNISH ALL LABOR, EQUIPMENT, AND MATERIALS NECESSARY TO REMOVE THE EXISTING ASPHALT COMPOSITION SHINGLE ROOF AND INSTALL A NEW METAL ROOF ON RESIDENCE #1 AND RESIDENCE #2.
 - REMOVE EXISTING ROOFING DOWN TO THE WOOD ROOF DECK.
 - REPLACE OR REPAIR ALL FOUND DAMAGED OR DETERIORATED ROOF WOOD SUB-FRAMING OR DECKING
 - INSTALL UNDERLAYMENT.
 - INSTALL METAL ROOF PANELS, TRIM, FLASHING, AND OTHER COMPONENTS.
 - PROVIDE AND INSTALL GUTTER AND DOWNSPOUTS ON ALL SIDES AS SHOWN ON DRAWINGS.
 - REMOVE ALL CONSTRUCTION-GENERATED WASTE.
- THE RESIDENCES ROOFS ARE TO MATCH THE EXISTING MUELLER CF® PANEL ROOF AND ROOF TRIM COMPONENTS ON THE PARK HEADQUARTERS BUILDING.
- REFER TO ROOF PLAN, PHOTO, AND DETAILS ON SHEET A-1. THE ROOF PLAN IS BASED ON DRAWINGS FROM 1974. IT IS PROVIDED FOR GENERAL INFORMATION PURPOSES. ACCURACY OF THE MEASUREMENTS MUST BE FIELD VERIFIED. BIDDERS MUST VISIT THE SITE TO VERIFY DIMENSION AND CONDITIONS.
- CONTRACTOR WILL HAUL OFF DEBRIS AND CLEAN SITE. RUN WHEELED MAGNET AND VISUALLY INSPECT SITE TO REMOVE DEBRIS.
- ALL WORKMANSHIP AND MATERIALS TO BE IN STRICT ACCORDANCE WITH THE SPECIFICATIONS AND BIDDING AND CONTRACT DOCUMENTS. CONTRACTOR SHALL VISIT SITE TO VERIFY THE EXACT SIZE OF THE ROOF PRIOR TO BIDDING THE PROJECT.

B. MINIMUM EXPERIENCE REQUIREMENT:

CONTRACTOR MUST SHOW EVIDENCE OF 5 YEARS PRIOR EXPERIENCE IN ROOF INSTALLATION TO BE ELIGIBLE FOR AWARD OF THIS CONTRACT.

C. SITE LOCATION:

THE LOCATION OF FAIRFIELD STATE PARK, 123 STATE PARK ROAD 64, FAIRFIELD TX 75840. ANY QUESTIONS CONCERNING SITE ACCESS SHOULD BE DIRECTED TO THE PARK SUPERINTENDENT, MATT HARWOOD OR LEAD MAINTENANCE, JOEY BURKS AT 903-389-4514 OR THE TPWD CONSTRUCTION MANAGER, TOM SYNOVEC, 512-627-4187. ALL BIDDERS SHALL VISIT THE SITE AND VERIFY THEIR OWN BID QUANTITIES AND THE SCOPE OF WORK. TO VISIT THE SITE, CONTACT PARK HQ AT 903-389-4514.

D. ALL WORK:

ALL WORK REQUIRED HEREIN SHALL INCLUDE ANY AND ALL APPURTENANT WORK AND ITEMS NECESSARY FOR FULLY FUNCTIONAL AND OPERATIONAL SYSTEM, COMPLETE AND IN PLACE, IN ACCORDANCE WITH THE BIDDING AND CONTRACT DOCUMENTS.

E. BASE BID:

BASE BID WORK SHALL CONSIST OF FURNISHING AND INSTALLING ALL LABOR, MATERIALS, AND EQUIPMENT TO RE-ROOF PARK RESIDENCE # 1 AND RESIDENCE #2. NO SOFFIT OR FASCIA WORK IS EXPECTED. ROOF DECK REPAIRS TO BE INCLUDED. PROPERLY REMOVE AND DISPOSE OF ALL OLD ROOFING MATERIALS AND CONSTRUCTION DEBRIS. DUMPSTERS FOR ROOF DEBRIS SHALL BE PROVIDED BY THE CONTRACTOR AND INCLUDED IN THE BASE BID.

F. MATERIAL:

- ALL ROOF MATERIALS SHALL BE NEW, PROVIDED AND INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.
- ROOF DECKING: ROOF DECKING PATCHES AND REPAIRS SHALL MATCH EXISTING SHEATHING THICKNESS (PROBABLY 1/2" EXISTING PLYWOOD). PLYWOOD SHALL BE PERFORMANCE CATEGORY APA RATED SHEATHING, 24/16, EXPOSURE 1, 48"x96".
- UNDERLAYMENTS: ROOF SYNTHETIC UNDERLAYMENT SHALL BE GAF "DECK ARMOR"® OR EQUAL- RIDGES, HIPS, AND EDGES SHALL COVERED WITH GAF "STORM GUARD LEAK BARRIER"® OR EQUAL.
www.gaf.com/Roofing/Residential/Products/Roof_Deck_Protection/Deck_Armor
www.gaf.com/Roofing/Residential/Products/Leak_Barriers/StormGuard
- ROOF PANELS AND TRIM: METAL ROOFING MATERIALS SHALL BE 26 GAUGE MUELLER CF PANEL® SYSTEM. FACTORY COATED PAINT TO BE 30-YEAR WARRANTY "IRONCLAD"® PAINT. COLOR TO BE "DEEP GREEN". ALL METAL TRIM COMPONENTS TO BE FROM SAME ROOF PANEL MANUFACTURER AND MEET THE REQUIREMENTS OF THE ROOF PANEL SYSTEM. www.muellerinc.com/metal-roofing/panel-types/cf-panel
- FASTENERS: FASTENERS FOR UNDERLAYMENTS AND ROOF PANELS & TRIM SHALL BE ACCORDING TO MANUFACTURER'S APPROVED LISTS. GAF "DECK ARMOR" REQUIRES PLASTIC CAP NAILS OR PLASTIC CAP STAPLES --SEE MANUFACTURER'S INSTRUCTIONS. FASTENERS FOR PLYWOOD AND OTHER WOOD SHALL BE RING SHANK OR SCREWS, EXPOSED NAILS OR SCREWS FOR WOOD AND BE GALVANIZED OR COATED FOR WEATHER EXPOSURE. MATERIAL TO PREVENT METAL-TO-METAL CONTACT OF DISSIMILAR METALS SHALL BE NEOPRENE OR RUBBER WASHERS OR PADS.
- ACCESSORIES: SEAL-TITE® ROOF JACKS (ALSO KNOWN AS VENT BOOTS) OR EQUAL FOR ALL VENT THRU ROOF PENETRATIONS.
<http://sealtite.com>
- GUTTERS & DOWNSPOUTS: NEW 5" WIDE MUELLER ROOF GUTTER AND DOWNSPOUTS IN A STANDARD MUELLER PAINT COLOR. COLOR TO MATCH HOUSE TRIM COLOR OR APPROXIMATELY MATCH --VERIFY IN FIELD. A MINIMUM OF FOUR (4) DOWNSPOUTS REQUIRED. AT BOTTOM OF DOWNSPOUTS, PROVIDE PLASTIC SPLASH BLOCKS SIMILAR TO MATERIALS SOLD AT HOME DEPOT OR LOWE'S.

G. SUBMITTALS:

PRIOR TO INSTALLATION, SUBMIT MANUFACTURER'S LITERATURE AND SAMPLES ON ALL MATERIAL TO OWNER FOR APPROVAL. THE MINIMUM SUBMITTAL DATA REQUIRED AS CUT SHEETS OR MANUFACTURER'S PRODUCT LITERATURE IS AS FOLLOWS:

- UNDERLAYMENT MATERIALS
 - GAF ROOF DECK ARMOR OR EQUAL
 - GAF STORMGUARD LEAK BARRIER OR EQUAL
 - MANUFACTURER'S INSTALLATION INSTRUCTIONS FOR BOTH MATERIALS
 - MSDS SHEETS FOR BOTH MATERIALS
- METAL ROOF PANELS AND ACCESSORIES
 - MUELLER METAL CF ROOF PANELS
 - MUELLER STANDARD ROOF PANEL COLORS
 - MUELLER TRIM COMPONENTS, INCLUDING GUTTER AND DOWNSPOUTS
 - SEAL-TITE ROOF JACKS (VENT BOOTS), OR EQUAL
 - MANUFACTURER'S INSTALLATION INSTRUCTIONS FOR ALL MATERIALS
- FASTENERS
 - RING SHANK NAILS
 - SCREWS
 - MASTICS, ADHESIVES OR SEALANTS USED ON THE WORK-- WITH MSDS SHEETS.
- WARRANTY (SUBMITTED AT CLOSE OUT.)
 - CONTRACTOR'S ONE YEAR LABOR AND MATERIAL WARRANTY CERTIFICATE WITH INSTRUCTIONS AND CONTACT INFORMATION OR WARRANTY WORK.
 - MANUFACTURER'S EXTENDED WARRANTIES FOR SPECIFIC MATERIALS

H. INSTALLATION:

- REMOVE EXISTING ROOF MATERIALS DOWN TO THE ROOF DECKING.
- REMOVE AND REPLACE DAMAGED ROOF DECKING WITH MATCHING DECKING. (ESTIMATED AMOUNT 8%).

- OFFSET ANY VENTS SO THAT NO VENT PENETRATES THROUGH RIDGE METAL IN AREAS WHERE VENTS WERE REMOVED, REPLACE ROOF DECKING FROM RAFTER TO RAFTER.
- INSTALL NEW EAVE METAL BELOW UNDERLAYMENTS. (RAKE EDGE WILL GO ABOVE UNDERLAYMENT.)
- INSTALL UNDERLAYMENT OVER ROOF DECKING. INSTALL LEAK BARRIER OVER ALL RIDGES AND HIPS, AND AT EDGES.
- INSTALL METAL ROOF AND METAL ROOF COMPONENTS AS REQUIRED FOR A COMPLETE JOB.
- INSTALL ROOF JACKS (VENT BOOTS) FOR THE PLUMBING AND EXHAUST VENTS. REPLACE VENT CAPS.
- INSTALL NEW ROOF GUTTERS AND DOWNSPOUTS. SPACE DOWNSPOUTS EQUALLY AROUND BUILDING ACCORDING TO BUILDING DESIGN AND SITE DRAINAGE --VERIFY DOWNSPOUT LOCATIONS WITH CONSTRUCTION MANAGER.
- CLEAN UP ALL DEBRIS DAILY. VISUALLY INSPECT SITE AND SWEEP THE GROUNDS WITH A WHEELED MAGNET TO REMOVE DEBRIS -- INCLUDED IN THE BASE BID.
- ALL WORK WILL BE PERFORMED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS AND GOOD INDUSTRY PRACTICES, STANDARDS, AND WORKMANSHIP.

I. CONSTRUCTION SITE:

- CONTRACTOR SHALL CONDUCT WORK 8:00 AM TO 5:00 PM, MONDAY -- FRIDAY, UNLESS OTHER ARRANGEMENTS ARE MADE IN ADVANCE WITH THE PARK STAFF.
- ELECTRICITY WILL BE FURNISHED BY THE OWNER.
- TOILETS ARE AVAILABLE AT PARK AT LOCATION SELECTED BY PARK SUPERINTENDENT. CONTRACTOR WILL MAINTAIN CLEAN AND SANITARY CONDITIONS IN THE RESTROOM AREA.
- SITE SHALL BE CLEANED DAILY OF CONSTRUCTION TRASH AND LEFT IN A CLEAN ORDERLY MANNER. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL TRASH. NO DUMPSTER WILL BE PROVIDED TO THE CONTRACTOR BY THE OWNER.

J. STORAGE AND PROTECTION OF MATERIALS:

- AN AREA NEAR THE WORK SITE SHALL BE DESIGNATED BY THE PARK SUPERINTENDENT FOR CONTRACTOR'S USE FOR THE STORAGE OF HIS MATERIALS, SUPPLIES, AND EQUIPMENT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER CARE AND PROTECTION OF ALL MATERIALS, SUPPLIES, AND EQUIPMENT STORED ON THE JOB SITE.
- ALL MATERIAL OR ITEMS DELIVERED TO THE JOB SITE MUST BE ADEQUATELY HOUSED OR OTHERWISE PROTECTED BY THE CONTRACTOR AGAINST DETERIORATION, DAMAGE, OR LOSS. ALL MATERIALS MUST BE STORED ON DUNNAGE AND NOT DIRECTLY ON THE GROUND. THE OWNER WILL NOT BE RESPONSIBLE FOR ANY DAMAGE OR LOSS OF SUCH STORED MATERIALS
- CONTRACTOR SHALL ADEQUATELY PROTECT THE SITE AND BUILDING FROM DAMAGE DURING THE PERFORMANCE OF THE WORK. IF ANY DAMAGE OCCURS, CONTRACTOR SHALL, AT NO COST TO THE OWNER, MAKE REPAIRS TO OWNER'S SATISFACTION.

K. SAFETY:

CONTRACTOR SHALL EXERCISE PROPER PRECAUTIONS WHEN CONDUCTING WORK. CONTRACTOR SHALL FOLLOW ALL SAFETY RULES SET FORTH BY OSHA, STATE OF TEXAS, AND GOOD CONSTRUCTION PRACTICES. ALL STANDARD SAFETY PRECAUTIONS SHALL BE TAKEN BY THE CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE FOR ENFORCING SAFETY FOR HIS EMPLOYEES AND COMPLYING WITH ANY ADDITIONAL PARK SAFETY REGULATIONS.

L. WARRANTY:

UPON COMPLETION OF THE WORK AND FINAL ACCEPTANCE BY THE OWNER, THE CONTRACTOR SHALL FURNISH THE OWNER A CERTIFICATE OF WARRANTY. SEE REQUIREMENTS LISTED FOR SUBMITTALS.

M. UNKNOWN CONDITIONS:

IN THE EVENT UNKNOWN CONDITIONS ARE ENCOUNTERED WHICH DIFFER MATERIALLY FROM THE CONDITIONS SHOWN AND SPECIFIED, THE CONTRACTOR SHALL NOT PROCEED WITH ADDITIONAL WORK WITHOUT PROPER PRIOR WRITTEN AUTHORIZATION BY PROJECT MANAGER. ANY ADDITIONAL WORK AS DESCRIBED HERE SHALL BE AUTHORIZED BY CHANGE ORDER ONLY.

GENERAL NOTES

A. SELECTIVE DEMOLITION NOTES:

- THE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS AND EQUIPMENT NECESSARY TO PERFORM ALL OPERATIONS INVOLVED IN THE REMOVAL, TRANSPORT, STORAGE OR DISPOSAL OF VARIOUS REMOVED BUILDING MATERIALS AND DEBRIS AND COMPLY WITH ALL APPLICABLE LAWS REGULATING DISPOSAL.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE OWNER'S PROPERTY THAT MAY BE DAMAGED BY DEMOLITION AND SHALL PROVIDE AND MAINTAIN ALL METHODS OF NECESSARY PROTECTION. RESTORE ANY DAMAGED WORK TO ORIGINAL CONDITION.
- THE CONTRACTOR SHALL TAKE SPECIAL PRECAUTIONS DURING DEMOLITION SO AS NOT TO DAMAGE ANY MECHANICAL OR ELECTRICAL ITEM REQUIRED TO REMAIN IN SERVICE, RELOCATED OR BE INCORPORATED INTO THE WORK.
- THE CONTRACTOR SHALL TAKE SPECIAL PRECAUTION IN ALL DEMOLITION WORK AND PROVIDE ALL NECESSARY BARRICADES, BARRIER WALLS, SHORING, SCAFFOLDING, WARNING SIGNAGE, EXIT SIGNS, ETC.
- THE CONTRACTOR SHALL CONSTRUCT TEMPORARY WEATHER TIGHT CLOSURES TO SEAL OFF ANY ROOF OR WALL OPENINGS IN THE EXISTING BUILDINGS UPON REMOVAL OF EXISTING ROOFING, FLASHINGS, CAPS, ETC.
- THE CONTRACTOR SHALL TAKE CARE TO AVOID DAMAGE TO ANY PART OF THE BUILDING STRUCTURE. NOTIFY THE OWNER AND ARCHITECT IMMEDIATELY OF ANY STRUCTURAL CONCERNS.
- CONTRACTOR SHALL PROVIDE AND MAINTAIN FOR ALL FALL PROTECTION PROVISIONS. PER OSHA REQUIREMENTS.
- THE CONTRACTOR SHALL COORDINATE ALL WORK WITH THE OWNER SO AS TO MINIMIZE INTERRUPTION OF PARK OPERATIONS OR ACTIVITIES.
- THE CONTRACTOR SHALL PROVIDE TEMPORARY POWER AND LIGHTS IN ALL WORK AREAS.
- THE CONTRACTOR SHALL PROTECT LAWNS AND LANDSCAPES. COORDINATE ALL TREES AND LANDSCAPE PROTECTION WITH THE CONSTRUCTION MANAGER AND PARK SUPERINTENDENT.

B. MATERIAL SUBSTITUTIONS:

- ALL REQUESTS FOR SUBSTITUTIONS OF MATERIALS OR ALTERNATE DETAILS FROM WHAT IS SHOWN IN THE CONSTRUCTION DOCUMENTS SHALL BE APPROVED BY THE ARCHITECT PRIOR TO THEIR USE.
- ANY SUBSTITUTIONS CAUSING OR REQUIRING CHANGES TO THE DESIGN SHALL BE WITHOUT ADDITIONAL COST TO THE PROJECT AND SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE ALL ASPECTS OF INCORPORATION INTO THE WORK.

C. ALTERNATES:

NO ALTERNATES ARE REQUESTED OR ACCEPTED WITH THE BASE BID. ANY NECESSARY CHANGES DISCOVERED DURING THE PROJECT WILL BE HANDLED THROUGH CHANGE ORDERS.

D. EXISTING CONDITIONS:

- CONTRACTOR SHALL FIELD VERIFY ALL EXISTING DIMENSIONS, ELEVATIONS AND CONDITIONS. DIMENSIONS SHOWN ON THE DRAWINGS ARE APPROXIMATE.
- FIELD MEASUREMENTS WILL BE REQUIRED TO COMPLETE THE WORK. THE CONTRACTOR SHALL OBTAIN ALL FIELD MEASUREMENTS AS NECESSARY TO FABRICATE ITEMS OF WORK AND IN ORDER TO COORDINATED WITH AND MATCH NEW CONSTRUCTION TO EXISTING CONDITIONS.
- SOME INFORMATION ON THE DRAWING REGARDING EXISTING FEATURES IS AN EDUCATED GUESS DUE TO UNKNOWN (CONCEALED) CONDITIONS AT THE TIME OF PREPARATION. IF CONDITIONS EXIST THAT DIFFER FROM THE DRAWING OR ARE NOT ADEQUATELY DETAILED. INFORM THE ARCHITECT FOR DIRECTION. EXTRA SKETCHES, DRAWINGS, DETAILS, CLARIFICATIONS. INTERPRETATIONS WITH BE PROVIDED BY THE ARCHITECT. DO NOT PROCEED WITHOUT WRITTEN CLARIFICATION.
- DRAWINGS IN THIS SET ARE NOT TO BE CONSIDERED MEASURED DRAWINGS OF AS-CONSTRUCTED CONDITIONS.

TEXAS
PARKS &
WILDLIFE

FAIRFIELD LAKE STATE PARK
REPLACE ROOFING ON PARK RESIDENCES 1 & 2
PROJECT NUMBERS: EH 8297 & EH 8298

DATE: 05-16-2016
DESIGNED BY: QLC
DRAWN BY: QLC
REVIEWED BY: XXX
REVISED:

REVISED:
REVISED:

SHEET TITLE
GENERAL NOTES,
SYMBOLS AND
ABBREVIATIONS

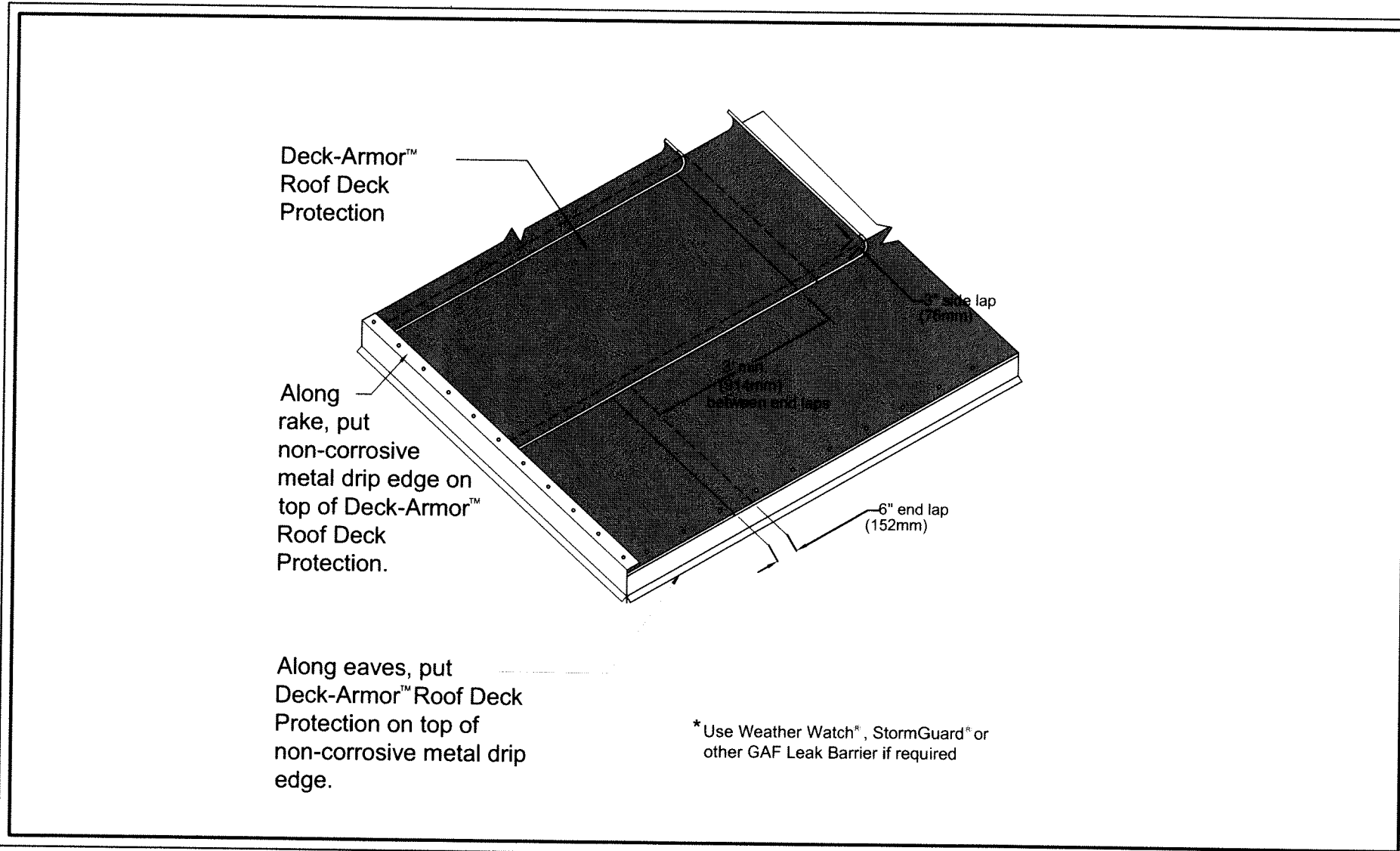
SHEET NUMBER


G1

EH8298.dwg

PATH: N:\Facilities\Yairfid_p078\16MRepEH8298 Res2 Roof\Design\EH8298.dwg DATE: 5/16/2016 2:52 PM

100% CONSTRUCTION DRAWINGS



 www.gaf.com 1381 Alps Rd. Wayne, NJ 07470	BRAND SERIES Deck-Armor™ Roof Deck Protection	DECK-ARMOR™ 10 sq. INSTALLATION DETAIL FOR ROOF SLOPES 4:12 OR MORE	DETAIL NUMBER 04
	REVISION DATE 6-01-12	SCALE N.T.S.	DETAIL REFERENCE SS-DA10

3 NOT USED
SCALE: NOT TO SCALE

V.T.R. MEANS VENTS THROUGH ROOF.
VERIFY LOCATIONS IN FIELD.
FIELD VERIFY SIZES REQUIRED.
REPLACE LEAD FLASHINGS.
REINSTALL SPECIALTY VENTS.
RELOCATE VENTS AS NECESSARY TO AVOID VENT PENETRATIONS
THRU ROOF SEAMS OR RIDGE METAL.

HEADWALL WITH EXIST. ATTIC VENT, N.I.C.
ROOFING CONTINUES TO HEADWALL.
MUELLER HEADWALL TRIM BELOW ATTIC VENT.

GUTTER AND HANGERS. A MINIMUM OF 4 DOWNSPOUTS
AROUND BUILDING--NUMBER AND LOCATIONS OF
DOWNSPOUTS TO BE DETERMINED IN FIELD.
INSTALL SPLASH BLOCK AT END OF DOWNSPOUT AT
GROUND LEVEL.

EAVE HIP INTERSECTIONS--TYP
SEE DETAIL 1/A-1.

MUELLER RIDGE/HIP CAP, TYP.

° V.T.R.
° V.T.R.
° V.T.R.
° V.T.R.

4:12 4:12

MUELLER CF PANEL

MUELLER EAVE TRIM AROUND ENTIRE BUILDING.

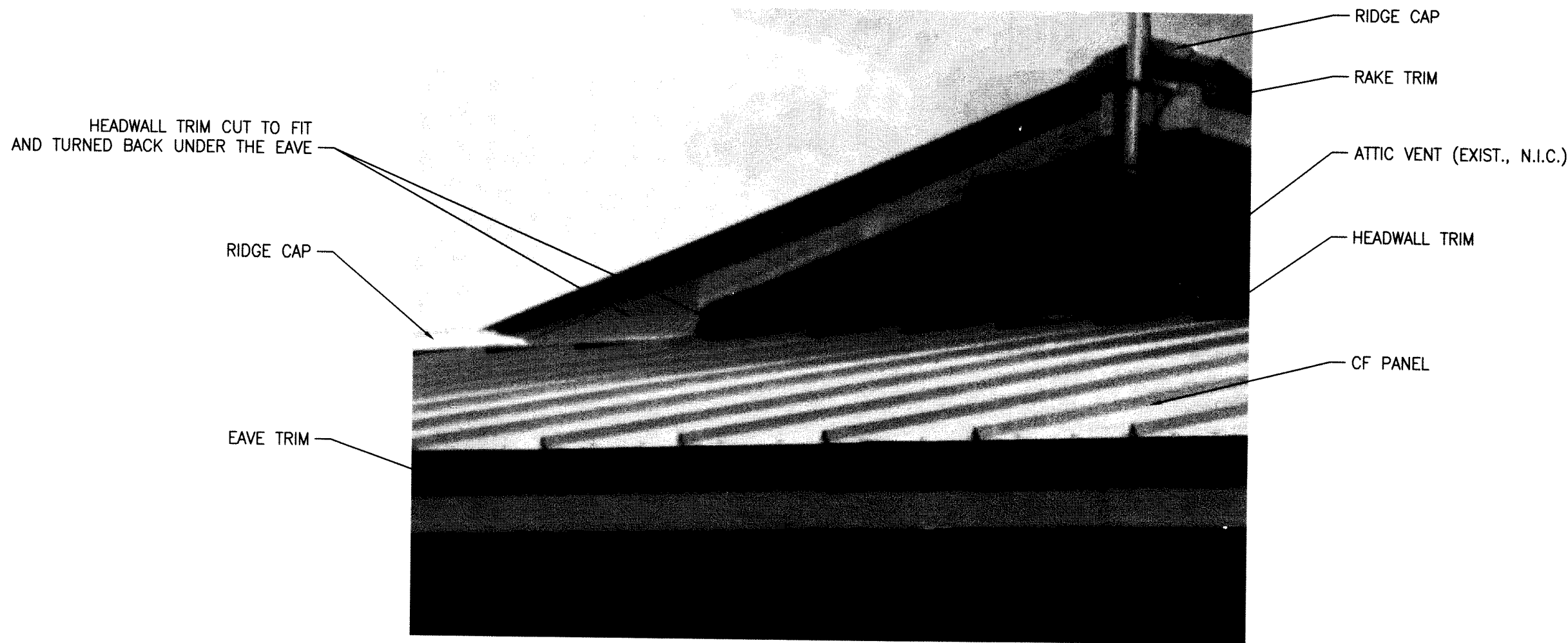
GUTTER AND HANGERS. A MINIMUM OF 4 DOWNSPOUTS
AROUND BUILDING--NUMBER AND LOCATIONS OF
DOWNSPOUTS TO BE DETERMINED IN FIELD.
INSTALL SPLASH BLOCK AT END OF DOWNSPOUT AT
GROUND LEVEL.

MUELLER RAKE TRIM TO COVER EDGE OF ROOF PANELS.

TRUE NORTH
DIFFERENT
FOR EACH
RESIDENCE

PLAN
NORTH

2 ROOF PLAN
SCALE: APPROXIMATELY 1/8" = 1'-0". VERIFY ALL DIMENSIONS IN FIELD.



1 GABLE TO TO HIP CONDITION AT PARK HEADQUARTERS
SCALE: NOT TO SCALE

TEXAS
PARKS &
WILDLIFE

FAIRFIELD LAKE STATE PARK
REPLACE ROOFING ON PARK RESIDENCES 1 & 2
PROJECT NUMBERS: EH 8297 & EH 8298

DATE: 05-16-2016
DESIGNED BY: QLC
DRAWN BY: QLC
REVIEWED BY: XXX
REVISED:

SHEET TITLE
ROOF PLAN -
RESIDENCE

SHEET NUMBER

A1

EH8298.dwg